

RESOLUTION NO. 7280

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CHULA VISTA ADOPTING A DEVELOPMENT POLICY FOR MOBILE HOME PARKS

The City Council of the City of Chula Vista does hereby resolve as follows:

WHEREAS, the City Council has heretofore directed that a study be conducted relating to specific standards and principles for the development of Mobile Home Parks, and

WHEREAS, an amendment to Chapter 33 of the City Code provides for the inclusion of said standards for the development of Mobile Home Parks, and

WHEREAS, it becomes necessary to establish guidelines for development of Mobile Home Parks, and

WHEREAS, the Planning Commission set the time and place for a public hearing to consider adoption of a Development Policy for Mobile Home Parks, and notice of said hearing, together with its purpose, was given by the publication in a newspaper of general circulation in the City at least ten days prior to the date of said hearing, and

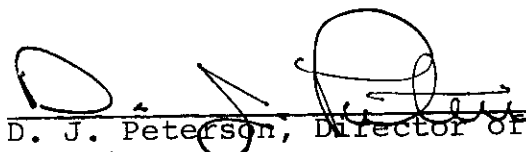
WHEREAS, a hearing was held on March 27, 1974 before the Planning Commission and said hearing was thereafter closed, and

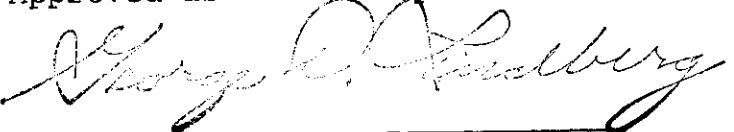
WHEREAS, the Planning Commission has recommended to the City Council the adoption of a Development Policy for Mobile Home Parks and the City Council has held a public hearing on April 23, 1974 to consider the adoption of the policy marked as Exhibit "A", attached hereto and incorporated herein by reference as if set forth in full.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Chula Vista does hereby adopt a Development Policy for Mobile Home Parks as attached hereto.

Presented by

Approved as to form by


D. J. Peterson, Director of
Planning


George D. Lindberg, City Attorney

ADOPTED AND APPROVED BY THE CITY COUNCIL OF THE CITY
OF CHULA VISTA, CALIFORNIA, this 23rd day of April,
1974, by the following vote, to wit:

AYES:	Councilmen	<u>Egdahl, Hobel, Hamilton, Hyde</u>
NAYES:	Councilmen	<u>None</u>
ABSENT:	Councilmen	<u>Scott</u>
ABSTAIN:	Councilmen	<u>None</u>

Thomas D. Hamilton
Mayor of the City of Chula Vista

ATTEST Jennie M. Fulasz
City Clerk

STATE OF CALIFORNIA)
COUNTY OF SAN DIEGO) ss.
CITY OF CHULA VISTA)

I, JENNIE M. FULASZ, City Clerk of the City of Chula Vista,
California, DO HEREBY CERTIFY that the above and foregoing is a full,
true and correct copy of _____ and that
the same has not been amended or repealed.

DATED: _____

City Clerk

(SEAL)

R. 7280

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/s/ D. J. Peterson

D. J. Peterson, Director of Planning



George D. Lindberg, City Attorney

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/s/ Thomas D. Hamilton, Jr.
Mayor of the City of Chula Vista

ATTEST /s/ Jennie M. Fulasz
City Clerk

STATE OF CALIFORNIA)
COUNTY OF SAN DIEGO) ss.
CITY OF CHULA VISTA)

I, JENNIE M. FULASZ, *City Clerk of the City of Chula Vista, California*, DO HEREBY CERTIFY that the above and foregoing is a full, true and correct copy of Resolution No. 7280 and that the same has not been amended or repealed.

DATED: April 23, 1974

Jennie M. Fulasz
City Clerk

(SEAL)

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Development Policy for Mobile Home Parks

Adopted by City Council Resolution _____ on _____

EXHIBIT

A

OBJECTIVE:

To establish principles and standards for the development of Mobile Home Parks with a view toward providing a balance between mobile homes and other types of housing and to set forth standards for the construction of Mobile Home Parks so that a satisfactory living environment is achieved for residents of the Mobile Home Park and the surrounding community.

PRINCIPLES:

1. Mobile Home Parks shall be designed to provide for a desirable residential environment for mobile home residents. Innovative and imaginative design is encouraged. Stylized patterns and monotony should be avoided.
2. All Mobile Home Park site improvements shall relate to the particular characteristics of the land. The site, including mobile home lots, patios, structures, streets, and other site improvements should be conveniently arranged in relation to the topography and the shape of the property.
3. The mobile home unit should be fitted to the terrain with a minimum disturbance of the land. Existing trees, rock formations, and other natural site features shall be preserved to the extent possible. Favorable views or outlooks should be emphasized.
4. A Mobile Home Park should possess the following characteristics:
 - a. Be generally located on the periphery of a residential area (as defined by physical features and/or changing land use patterns) to avoid interruption of local public street service and desirable development patterns;
 - b. Front on a major road or street or residential collector street of sufficient capacity to carry anticipated traffic; and
 - c. Be accessible from a state highway by way of streets with no intervening portion having a grade in excess of seven percent.
5. Mobile Home Parks should be considered as having land use characteristics similar to both single dwelling and duplex type housing.
6. Convenience market and personal services within walking distance are considered desirable; when these are within the park they should be internally oriented.
7. Individual mobile homes within a Mobile Home Park should be integrated with their sites by having some floor and outside levels equal in elevation.

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8. Mobile Home Parks should be evaluated in terms of their impact upon adjacent areas in order to avoid the creation of land use and circulation problems as well as undesirable environments.

9. Individual Mobile Home Parks should not be severed by public streets.

STANDARDS:

1. A desirable size for a Mobile Home Park is 20 acres in order to provide a sound base for service and amenities. Five acres should be considered as a minimum permissible size.

2. The number of mobile homes within the City should not exceed 15 percent of the total number of housing units in the City. At least 10% of the lots in each Mobile Home Park shall not exceed 41 feet in width. These lots shall be interspersed throughout the Mobile Home Park.

3. Lot Size. Minimum lot size shall be determined as follows:

a. The width of the lot shall be a minimum of 27 feet more than the coach width at the floor line.

b. The length of the lot shall be a minimum of 13 feet more than the coach length at the floor line.

4. Common Open Space. 400 square feet of common open space per unit shall be provided within the Mobile Home Park.

5. Recreation Area. Mobile Home Parks designed to serve children shall provide a separate recreation area developed appropriately for their needs. This area shall have a minimum dimension of 75 feet and a maximum slope of 2.5 percent and be adequately screened from adjacent mobile home units.

6. Setbacks. Minimum setbacks for mobile homes, measured from the body of the coach, shall be as follows:

a. From a residential collector or wider street - 25 feet.

b. From a local street - 15 feet.

c. From a property line not adjacent to a street - 20 feet.

d. From private drives - 8 feet. The average front setback shall be a minimum of 11 feet with front setbacks staggered throughout the park.

e. Between mobile homes - 22 feet from side to side; 14 feet from side to rear, 10 feet from rear to rear.

f. Accessory structures - 3 feet from any lot line.

7. Density. The maximum density of a Mobile Home Park will, in part, be governed by the design criteria and development standards contained herein.

nature. Each mobile home site shall be provided with one tree of 15 gal. size, 6 feet in height and of 1½" caliper, in addition to the required ground cover and shrubs.

d. All landscaping shall be irrigated with a sprinkler system. Setback and common areas shall be irrigated from a common water source and individual mobile home sites from a source on the mobile home site.

10. Utilities.

a. All utilities shall be underground.

b. Television reception shall be by means of cable television (CATV) or one antenna or several common antennae if the size or configuration of the Mobile Home Park requires more than one.

c. Private trash storage enclosures and common trash bin enclosures should be provided. Private trash areas shall be 2' X 6' minimum and enclosed with

Generally, however, Mobile Home Parks shall not exceed 8 units per acre. The Planning Commission may, however, adjust the density on the basis of topographic consideration, relationship of the Mobile Home Park to adjacent areas, or the type of mobile homes for which the park is designed.

8. Parking. Parking spaces in Mobile Home Parks shall be provided as follows:

- a. 2 spaces on each lot, provided that no part of the front setback shall be used for parking.
- b. 1/3 guest space per mobile home located within 400 feet of the farthest unit.
- c. At the community center - 1 space for each 5 lots up to 50 lots and 1 space for each 10 lots thereafter.

9. Landscaping.

a. A landscaping plan and irrigation plan shall be submitted for approval by the Landscape Planner. The plan shall be in conformance with the Landscape Policy and the standards herein stated.

b. The setback areas adjacent to public rights of way shall be landscaped with the combination of trees, shrubs and ground cover. Trees will be 15 gal. size, a minimum of 6 feet high and 1½" caliper and shall be selected from the City street tree list. They shall be used an average of every 30 feet along street frontages. 5 gal. shrubs and living ground cover shall also be utilized.

c. All interior areas not devoted to buildings, parking or walkway areas shall be landscaped with a combination of trees, shrubs and ground cover. Not more than 25 percent of the ground cover shall be of a non-living nature. Each mobile home site shall be provided with one tree of 15 gal. size, 6 feet in height and of 1½" caliper, in addition to the required ground cover and shrubs.

d. All landscaping shall be irrigated with a sprinkler system. Setback and common areas shall be irrigated from a common water source and individual mobile home sites from a source on the mobile home site.

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b. Television reception shall be by means of cable television (CATV) or one antenna or several common antennae if the size or configuration of the Mobile Home Park requires more than one.

c. Private trash storage enclosures and common trash bin enclosures should be provided. Private trash areas shall be 2' X 6' minimum and enclosed with a solid enclosure 5 feet high. Common trash areas shall be of masonry construction, compatible with the Mobile Home Park and in accordance with Section 33.901 B, par. 34.

11. Fences and Walls. Mobile Home Parks shall be enclosed by solid masonry walls, maximum 6 feet in height, along dedicated street frontages and interior property lines (setback as required by ordinance), except in those cases where adequate buffer screening between the park and adjacent property is provided through landscape screening or topographic features, such as elevation differentials and earthen banks.

12. Noise. Noise levels in Mobile Home Parks should not exceed 55 dBA (more restrictive standards adopted as a result of legislation regulating noise emissions shall take precedence). Where Mobile Home Parks are located adjacent to noise sources, such as freeways and major arterial streets, efforts should be made to attenuate noise within the park area by any one or combinations of the following methods.

- a. Masonry walls.
- b. Earthen banks.
- c. Buffer zones.
- d. Dense vegetation.

13. Service Buildings and Facilities. Service buildings and facilities should be strategically located throughout the park for convenient access from mobile home or recreational vehicle lots. No service building should be closer than 20 feet to any abutting property. A car wash shall be provided adjacent to the community center or common storage area.

14. Lot Numbering. Each lot within a mobile home or camping park should be appropriately numbered (or lettered). Said numbers or letters should be placed on appropriate signs located at a point near the front of each lot. In addition, a general locational map and directory should be provided near the entrance to the park.

15. Pedestrian Circulation.

- a. Pedestrian circulation should be emphasized by the provision of a system of walks linking dwelling units to common areas, service facilities and other residential units.
- b. Wherever feasible, walks should not be adjacent to streets and should not be interrupted by street crossings.
- c. Walks shall be no closer than 5 feet, or an average of 10 feet, from a mobile home.

16. Private Streets. Private streets within Mobile Home Parks shall be a minimum width of 25 feet irrespective of parking areas. Streets shall be increased in width to 32 feet when parallel parking is allowed on one side and 40 feet if parallel parking is allowed on both sides. One way streets of 15 feet in width will be allowed if specifically approved by the Chula Vista Fire Dept. Use of curvilinear streets is strongly encouraged.

Pavement for all private streets shall conform to standard street sections using rolled curbs on file with the Dept. of Public Works.

17. Lighting. All driveways in Mobile Home Parks should be provided with light standards at intervals which will ensure adequate lighting of the driveways and parking areas. Lighting should also be provided around storage yards and swimming pools and should be shaded and adjusted to prevent undesirable illumination of adjacent mobile homes. Lighting standards shall not exceed 12 feet in height.

18. Signs. The following sign standards should apply to Mobile Home Parks in residential zones.

a. There shall be only one wall sign or freestanding sign designating the use of the premises, facing or adjacent to each street abutting the property. The height of a freestanding sign should not exceed 8 feet, measured vertically from the base at ground level to the apex of the sign. The total face area of all wall and freestanding signs (excluding directional signs) shall not exceed one-tenth square foot for each linear foot of street frontage, and no sign shall exceed a maximum area of 32 square feet.

b. One directional sign, not to exceed 10 square feet in area, may be placed at each entrance or exit driveway. No such sign shall exceed a height of 8 feet measured vertically from the base at ground level to the apex of the sign. Directional signs may be lighted.

c. All signs shall conform to the requirements of Section 33.950 of the City Zoning Ordinance.

19. Common Storage. Common storage within a Mobile Home Park shall be provided at the rate of 50 square feet of common storage per unit within a storage yard screened with six (6) foot solid fencing and landscaping.

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MOBILE HOME PARK PROCEDURE

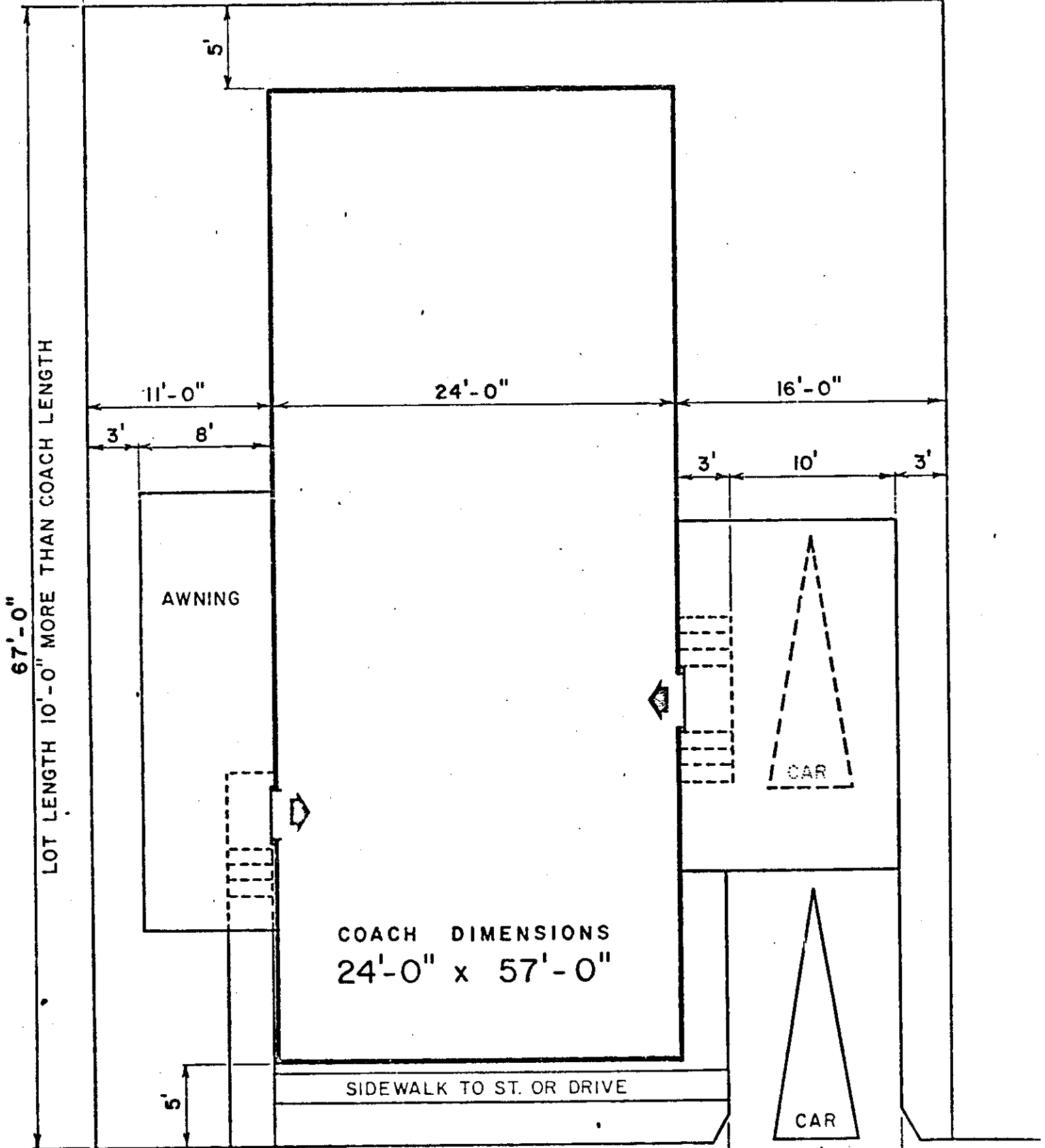
PROCEDURE:

1. Mobile Home Park development shall be limited to those areas where the "M" Mobile Home Park Modifying District has been established on the zoning map of the City of Chula Vista.
2. Application for the "M" Mobile Home Park Modifying District shall be accompanied by a preliminary development plan prepared by a civil engineer and/or landscape architect and/or urban planner and/or qualified allied professional and shall include the following:
 - a. Boundaries of project site;
 - b. Orientation and relationship of adjacent uses;
 - c. Topography;
 - d. Principal ingress and egress location;
 - e. General locations of open space;
 - f. Estimated density of project site.
3. Subsequent to the rezoning of a parcel to the "M" Mobile Home Park Modifying District, a precise plan shall be submitted for the approval of the Director of Planning. This plan shall conform substantially to the preliminary development plan approved or conditionally approved by the City Council and which contains all items of information set forth in a standard checklist for the purpose of reviewing any such precise plan.

EXHIBIT A

51'-0"

LOT WIDTH 27'-0" MORE THAN COACH WIDTH



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EXHIBIT B

DETAIL OF SETBACK AND LANDSCAPING

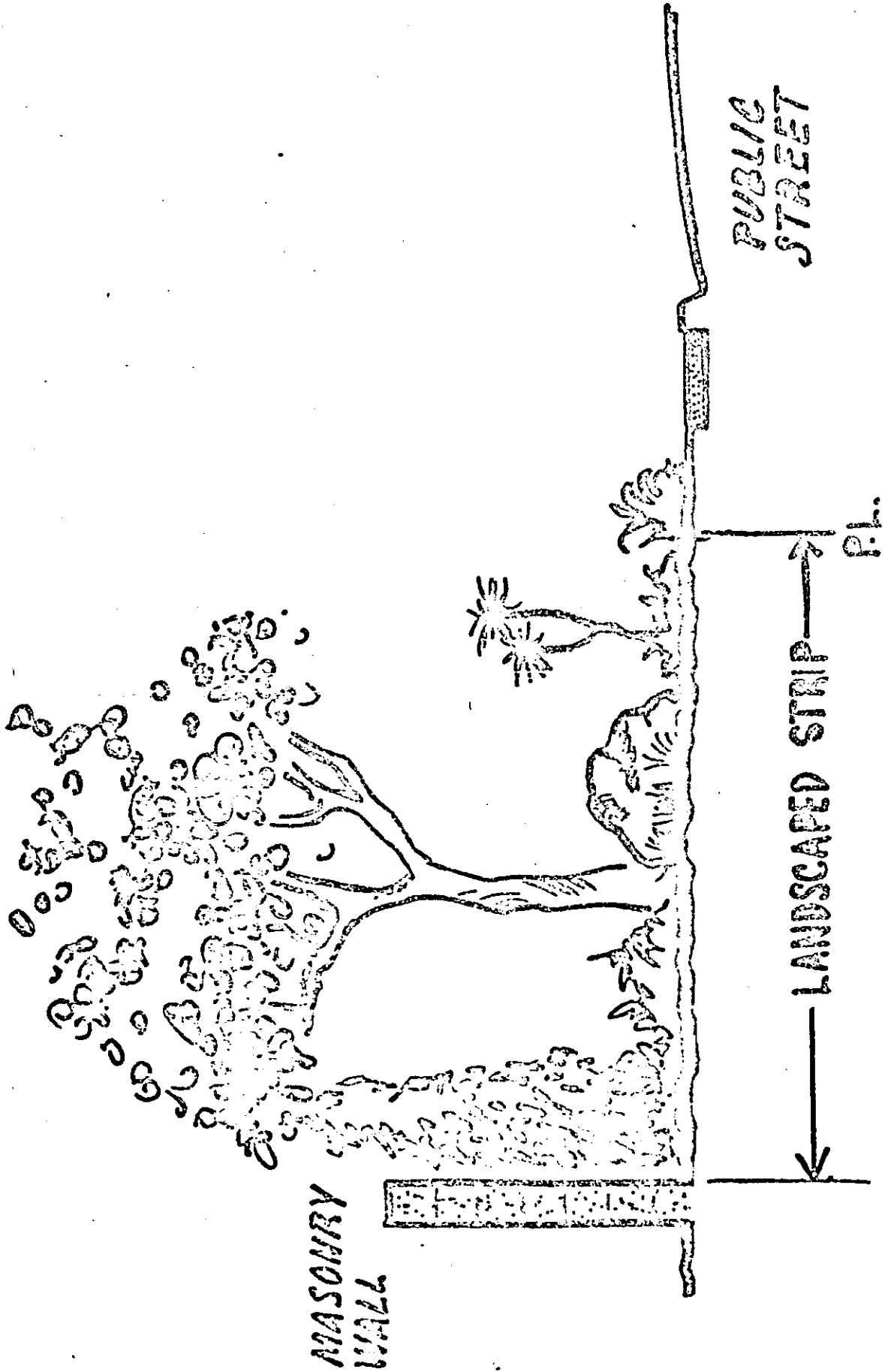
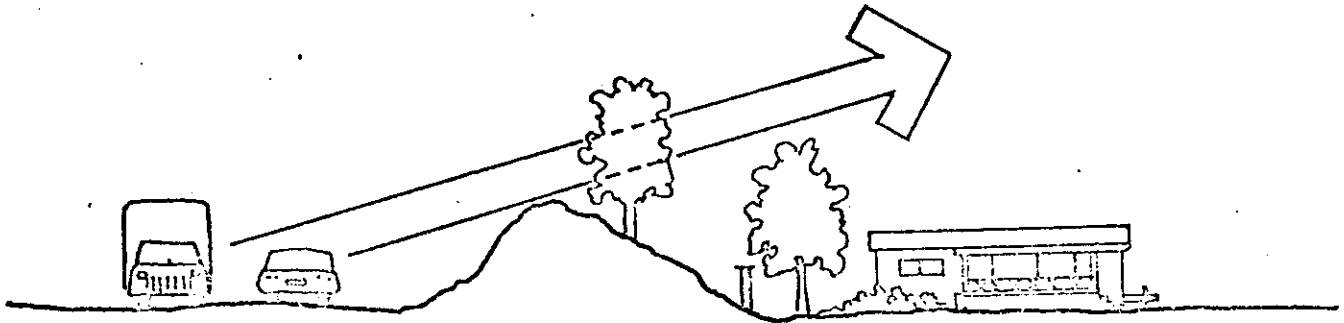
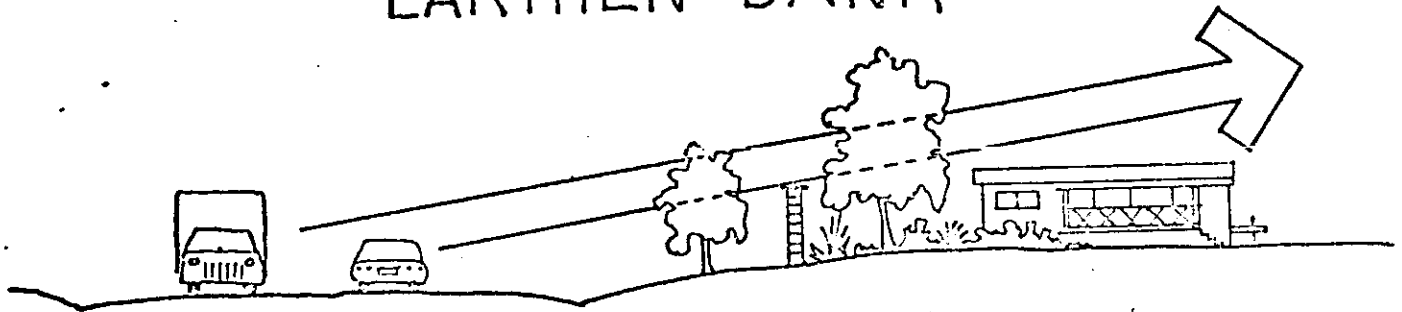


EXHIBIT C

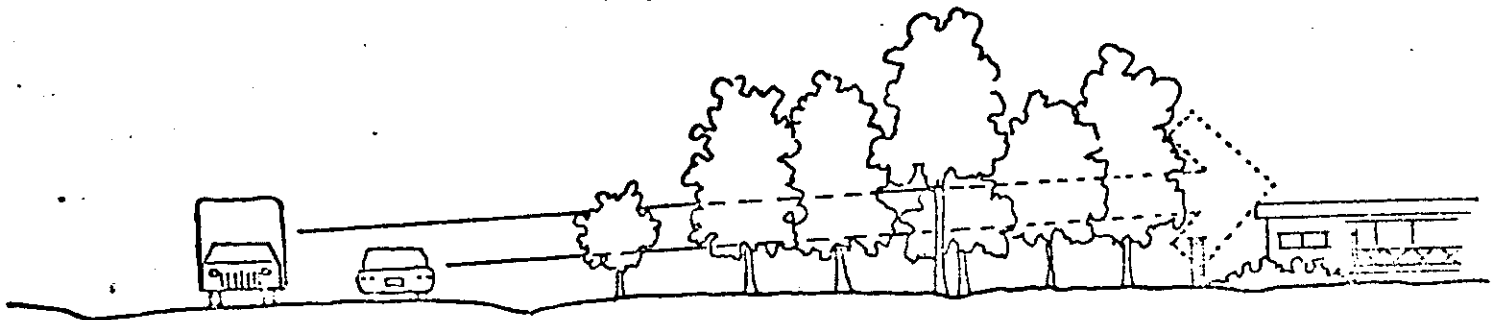
NOISE ATTENUATION TECHNIQUES



EARTHEN BANK



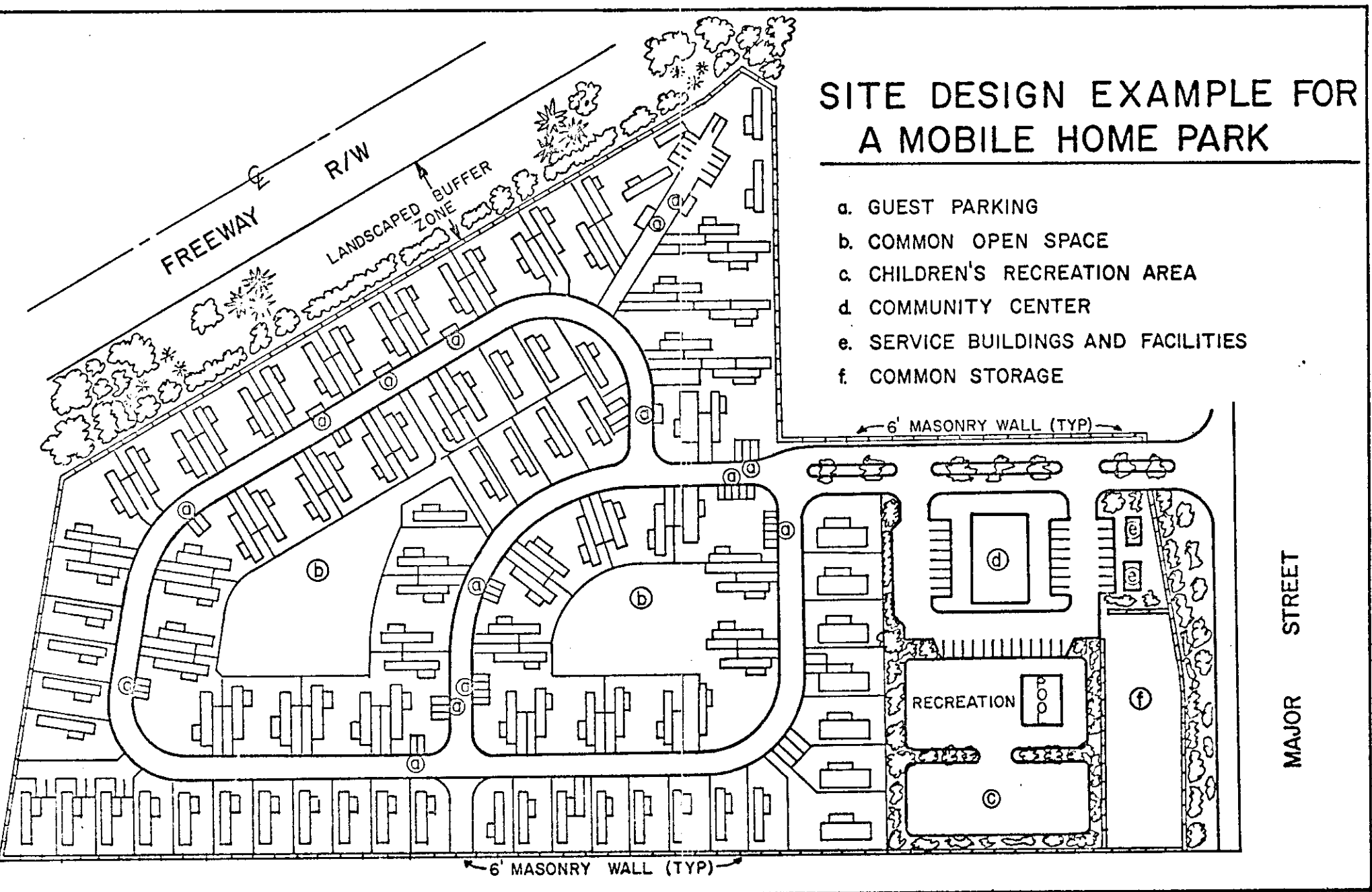
WALL



WIDE BUFFER ZONE WITH DENSE VEGETATION

SITE DESIGN EXAMPLE FOR A MOBILE HOME PARK

- a. GUEST PARKING
- b. COMMON OPEN SPACE
- c. CHILDREN'S RECREATION AREA
- d. COMMUNITY CENTER
- e. SERVICE BUILDINGS AND FACILITIES
- f. COMMON STORAGE



MAJOR STREET

6' MASONRY WALL (TYP)

6' MASONRY WALL (TYP)

FREEWAY R/W

LANDSCAPED BUFFER ZONE

RECREATION POOL

R-1980